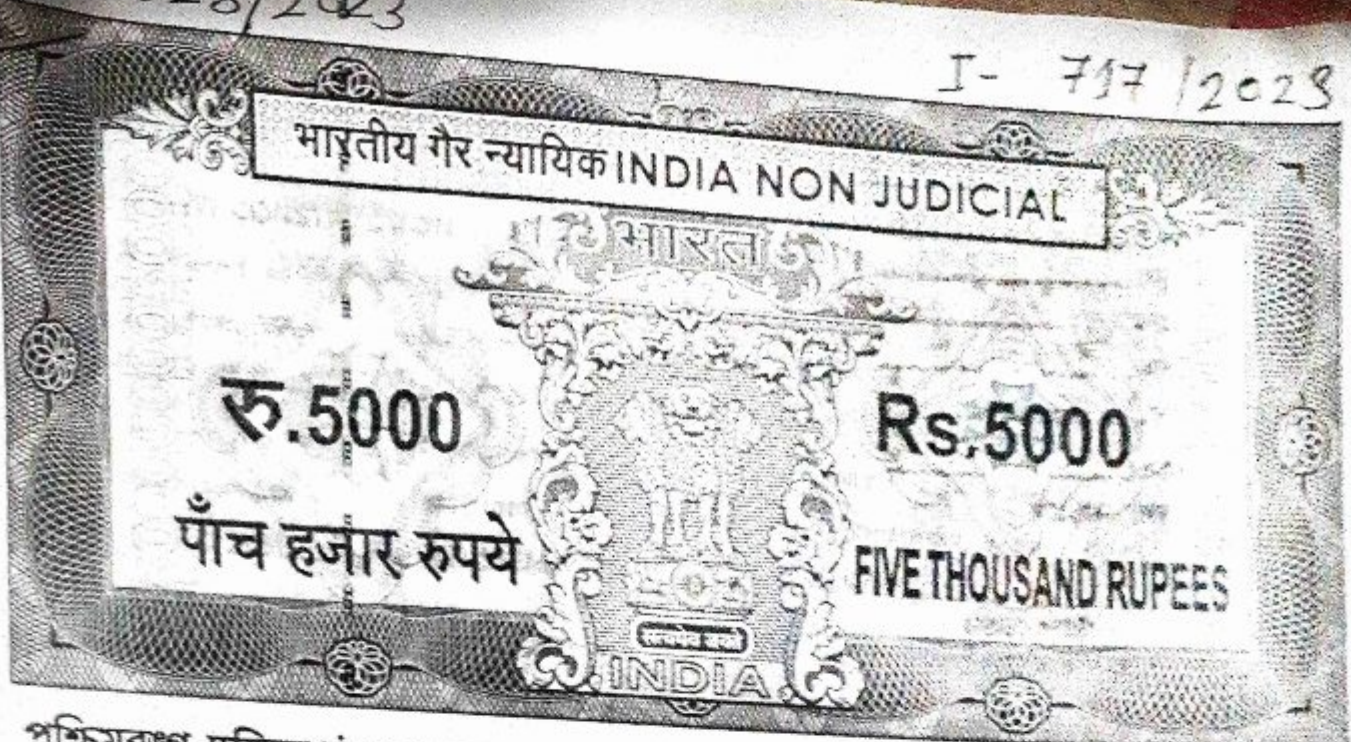


20/2023

I- 717/2023



पश्चिमवङ्ग पश्चिम बंगाल WEST BENGAL

25.04.23

H 710018
1, 24, 25, 100 / 5-1026500/03

Certified that the document is admitted to registration in accordance with the provisions of the Registration Act, 1908 and the rules made thereunder in this document in the office of the Registrar

Robin Kumar Singh

25 APR 2023

DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT made on this the 25th day of April, 2023.

BETWEEN

SMT. MANTU GARAI @ MANTU BHUNIYA @ MANTU RANI GARAI @ MANATU RANI GARAI, PAN - BLJP80736M, Wife of Ashis Kumar Garai, by faith - Hindu, by Nationality - Indian, by occupation - House-wife, Residing at - Village - Olda, P.O. - Ghaspada, P.S. - Barsole, Dist. - Purbi Singhum, Jharkhand, PIN - 832101.

----- Hereinafter called and referred to as the "LAND OWNER" (which expression shall include her heirs, executors, legal representatives and assignees) of the **FIRST PART.**

Drafted by:
Nilesh Das
NILESH DAS, Advocate
Enrolment No- F/740/2012
District Judges' Court
Jhargram

KRITTI CONSTRUCTION
Soudeep Saini
Partner

KRITTI CONSTRUCTION
Seemant Mahata
Partner

Mantu Garai @ Mantu Bhuniya @ Mantu Rani Garai @ Manatu Rani Garai

ক্রমিক নং ২৫২০
তার 25 APR 2023
মূল্য ৫০০০
ক্রেতার নাম শ্রী জগদীশ্বর
গ্রাম কুমারগুড়
পোস্ট কুমার
থানা কুমার
জেলা - বাড়গাম

Signature
স্টাম্প ডেপুটি
বাড়গাম জুডিশিয়াল কোর্ট



৯

Additional District Sub Registrar
Jhargram, District- Jhargram

25 APR 2023

AND

"KRITTI CONSTRUCTION", PAN - AAZFK8211A, a Partnership Firm, having its registered office at Raghunathpur, P.O. - Jhargram, P.S. - Jhargram, Dist - Jhargram, West Bengal, PIN - 721507, represented through its partners namely

1) **SRI SOUDEEP SAHOO**, PAN - EGUPS0405M, Son of Late Krishnendu Sahoo, by faith - Hindu by Occupation - Business, by Nationality - Indian, Resident of Raghunathpur, P.O. - Jhargram, P.S. - Jhargram, Dist - Jhargram, West Bengal, PIN - 721507 and 2) **SRI SEEMANTA MAHATA**, PAN - BSBPM7101A, Son of Ajit Mahata, by faith - Hindu by Occupation - Business, by Nationality - Indian, Resident of Village - Tengia, P.O. - Pukuria, P.S. - Jhargram, Dist - Jhargram, West Bengal, PIN - 721507.

----- Hereinafter called and referred to as the "**DEVELOPER/ PROMOTER**" (which expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include its executors, legal representatives and assignees) of the **OTHER PART**.

AND

WHEREAS the First Part/ the land owner is the present owner as well as occupier has seized and possessed of THAT ALL piece & parcel of BASTU land measuring total 7.90 Decimals i.e. 3,441.24 Sq. ft. more or less in R.S. Plot No. - 354, R.S. Khatian No. - 851, corresponding to L.R. Plot No. - 454, L.R. Khatian No. - 13680 within the ambit of Jhargram Municipality, Ward No. - 12, Holding No. - 570/393 within Mouza - Jangalkhas, J.L. No. - 395 under Jhargram Police Station in the District of Jhargram within the jurisdiction of Additional District Sub-Registrar at Jhargram, together with all sorts of easement rights & common passage attached hereto, hereinafter called and referred to as the "said properties" which are morefully described in the Schedule - A hereunder by paying all taxes/ rents before appropriate authority.

AND

Drafted by:

Nilesh Das
NILESH DAS, Advocate
 Enrolment No- F/740/2012
 District Judges' Court
 Jhargram

KRITTI CONSTRUCTION
Soudeep Sahoo
 Partner

KRITTI CONSTRUCTION
Seemanta Mahata
 Partner

Maanta Mahata @ Maanta Kani Garrai @ Maanta Kani Garrai

WHEREAS the Schedule - A mentioned property previously owned by two different owners i.e. one was Prabir Das, S/o - Prodoyash Kumara Das and another was Sushil Chandra Mitra, S/o - Late Saroj Bandhu Mitra.

AND

WHEREAS the above noted Prabir Das purchased total land measuring 15.75 Decimals of land which is situated under Police Station - Jhargram, Mouza - Jangalkhas, J.L. No. - 395, R.S. Kharian No. - 851, R.S. Plot No. - 354 by dint of a registered Sale Deed, being Deed No. - 1919 dtd. - 31/03/1983 of A.D.S.R.O., Jhargram and the land measuring 0.375 Decimals in Mouza - Jangalkhas, J.L. No. - 395, R.S. Kharian No. - 851, R.S. Plot No. - 354 previously owned and possessed by the above noted Sushil Chandra Mitra.

AND

WHEREAS during the absolute possession over the said land measuring 0.375 Decimals the above noted Sushil Chandra Mitra empowered Prabir Das for his own land measuring 0.375 Decimals by virtue of a registered General Power of Attorney, being Deed No. - IV-85 dtd. - 23/03/1983 of the office of Calcutta Assurance.

AND

WHEREAS being the owner of 15.75 Decimals of land and attorney holder of 0.375 Decimals of land the above noted Prabir Das sold 7.875 Decimals of land from his own share of land as owner and 0.375 Decimals of land as attorney Holder of Sushil Chandra Mitra in two different schedule (Ka & Kha) measuring total area 8.25 Decimals in favour of Harihar Tripathi, S/o - Late Pitambara Tripathi by virtue of a registered Sale Deed, being Deed No. - 150 dtd. - 20/01/1984 of the office of S.R.O., Jhargram

AND

WHEREAS the R.S. Plot No. - 354 of Mouza - Jangalkhas, J.L. No. - 395 was converted in L.R. Plot No. - 454 in the record of settlement.

Drafted by:

Nilesh Das
NILESH DAS, Advocate
Enrollment No. EC 40/2012
Jhargram Court

KRITTI CONSTRUCTION

Indrapal
Partner

KRITTI CONSTRUCTION

Seemanta Mahata
Partner

Mamta Das @ Mamta Ram Das @ Mamta Ram Das @ Mamta Ram Das

AND

WHEREAS being the owner of 8.25 Decimals of land the above noted Harihar Tripathi mutated his name in the record of settlement according to W.B.L.R. Act and got new L.R. Khatian No. - 2987 in his name and he also mutated his name in the record of Jhargram Municipality according to Municipal Act. and got Holding No. - 570/393 in his name. /

Be it noted here that in the record of settlement 7.90 Decimals of land has been recorded in the name of Harihar Tripathi instead of 8.25 Decimals of land.

AND

WHEREAS being the lawful owner the said Harihar Tripathi converted the said land measuring 7.90 Decimals of land in "Bastu" according to law.

AND

WHEREAS being the owner the said Harihar Tripathi while his absolute possession over the said land measuring 8.25 Decimals he donated his share of land to her foster daughter Mantu Rani Garai @ Mantu Garai @ Mantu Bhuniya, W/o - Ashis Kumar Garai (Land Owner of this agreement) by way of Registered Gift Deed, being Deed No. - 2262 executed on 28/10/2004 and registered on 31/03/2006 of the office of A.D.S.R., Jhargram as he was unmarried.

AND

WHEREAS being the lawful owner the land owner of this agreement mutated his name in the record of settlement according to W.B.L.R. Act and got separate L.R. Khatian No. - 13680 in her name for 7.90 Decimals of land instead of 8.25 Decimals of land and presently the land owner of this agreement is utilizing her right, title, interest and possession over the said land along with the total share of land i.e. 8.25 Decimals of land.

AND

WHEREAS on negotiation by and between the parties the land owner of SCHEDULE - A has agreed to allow the Promoter/ Developer to develop the

Drafted by: Schedule - A property on certain terms and conditions here in after contained.

Nitesh
NILESH DAS, Advocate
Enrolment No- F/740/2012
District Judges' Court
Jhargram

KRITTI CONSTRUCTION

Deepak Sahoo
Partner

KRITTI CONSTRUCTION

Seemanta Mahata
Partner

Mantu Garai @ Mantu Bhuniya @ Mantu Rani Garai @ Mantu Rani Garai

NOW IT IS HEREBY AGREED BY AND BETWEEN THE PARTIES HERETO AS FOLLOWS: -

1. That the SCHEDULE - A property is under exclusive possession with absolute right, title and interest of the land owner and is free from all encumbrances to transfer land convey the whole or part there of the said property, having fully marketable title thereby.
2. That the Promoter/ Developer has every right to construct multi-storied building/s over Schedule - A property.
3. The Land owner hereby grant exclusive right to the Promoter/ Developer of Development of the SCHEDULE - A property on what is known as "as is where is basis" and Promoter/ Developer accept the same for consideration (vividly described below) and subject to the terms and conditions herein provided.
4. The aforesaid Promoter/ Developer, offered to develop and construct at their own cost, multi-storied residential cum commercial building/s over the SCHEDULE - A property and the land owner wanted and agreed to acquire units and other built-up area of the said building as consideration for the part of the said property to be conveyed by the land owner to the Promoter/ Developer or its nominees etc.
5. That the Land owner has not entered in the past in any agreement for sale or development of the said property or any part thereof nor has made any arrangement with anyone what said properties are not subject to any notice or acquisition or requisition.
6. The Land owner has no excess vacant Land within the preview of Urban Land (Ceiling and Regulation) Act; 1976.
7. As from the date hereof, the Promoter/ Developer shall be entitled at their own risk to deal and/ or trespassers on the said property and to take any proceedings against them and/ or to arrive at any arrangement or agreement with them and/ or to arrive at any arrangement or agreement

Drafted by:

Filed
NILESH DAS, Advocate
 Enrolment No- F/740/2012
 District Judges' Court
 Jhargram

KRITI CONSTRUCTION

Dee deep Sahoo
 Partner

KRITI CONSTRUCTION

Seemanta Mahata
 Partner

Mamta Behera @ Mamta Kanti Behera @ Mamta Bhuniya @ Mamta Kanti Behera @ Mamta Kanti Behera

13. That the Promoter/ Developer shall be and are hereby authorized to borrow amount for the cost to be incurred for construction work of the proposed building from any financial institute like any Nationalized Bank, Co-Operative Bank, Private Bank or LIC Housing Developers. In that case, if needed the land owner will co-operate with the Promoter/ Developer and they will mortgage, concerned land/ land with structure there upon in favour of such financial institution, in the capacity as guarantor.
14. That the Promoter/ Developer shall indemnify and keep indemnified the Owner from and against non-payment thereof. In the event of the Promoter/ Developer paying any refundable deposit to the Jhargram Municipality or other authority in the course of the development of the said property in the name of Land owner, the Promoter/ Developer shall be entitled to refund of such deposit in his name or in the name of firm. To enable the promoter to obtain the refund the Land Owner will sign or execute all such documents, writings as may be required by the Promoter/ Developer in that behalf without raising any objection or requisition in that behalf.
15. In consideration of the agreement, the land owner of Schedule - A property has agreed to grant exclusive right of development of the said landed property to the Promoter/ Developer. In lieu of the SCHEDULE - A property the Promoter/ Developer agrees or undertakes to handover the following accommodations (02 Nos. of Residential Flats/ Units & 01 Nos. of Shop/ Commercial Unit) in the proposed multi-storied building, sanctioned by Jhargram Municipality or other authority.
- a) One residential unit/ flat in the North-West side of the first floor, being Flat No. - F-1/A of the multistoried building measuring super built up area 720 Sq. Ft. more or less in the proposed multistoried building to the OWNER.
- b) One residential unit / flat in the North-West side of the second floor, being Flat No. - F-2/A of the multistoried building measuring super built up area 720 Sq. Ft. more or less in the proposed multistoried building to

Drafted by:

Nilesh
NILESH DAS, Advocate
 Enrolment No- FIT40/2012
 District Judges' Court
 Jhargram

the OWNER.

KRITI CONSTRUCTION

Deep Sahoo
 Partner

KRITI CONSTRUCTION

Seemanta Mahata
 Partner

Manjula Das

more deed of conveyances as may be desired by the Promoter/ Developer (in case of need) but at the costs and expenses in all respects being borne and paid by the Promoter/ Developer including Stamp duty and Registration charges.

27. That the Land owner here by declares that she has not entered into any person or persons for Agreement for Sale or Lease or created any third-party rights in favour of any person or persons in respect of the Schedule property.
28. That in case of any dispute or differences between the land owner and Promoter/ Developer arising out of relating to this Development Agreement, the same shall be settled by reference of the dispute or differences to the arbitrator appointed by mutual consent of both parties and such arbitration shall be conducted under the provisions of the arbitration & conciliation Act, 1996 as amended from time to time at Jhargram.
29. That the Land owner has not or shall not do done any act, deed, matter or thing whereby or by reason whereof, the development of the schedule property may be prevented or affected in any manner whatsoever.
30. That the Promoter/ Developer shall be entitled to enter into separate contracts in their own name with building contractor, architects and other for carrying out the said development at their own risk or costs.
31. That any Courts of Jhargram shall have exclusive jurisdiction over all the matters of dispute arising in respect of and from this agreement.
32. That the Land owner agree and undertake to indemnify and compensate the Promoter/ Developer for any loss or liabilities that the builder/ promoter/ developer may incur by reason of any declaration or representation of the land owner being found to be incorrect or invalid or untenable at any time.
33. That the Promoter/ Developer shall at their own costs and expenses and without creating any financial or other liability to the Land owner,

affected by:

Hiley
 ESH DAS, Advocate
 Element No- F/740/2012
 District Judges' Court
 Jhargram

KRITTI CONSTRUCTION

Soudeep Sahoo
 Partner

KRITTI CONSTRUCTION

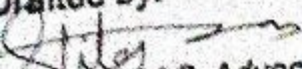
Seemanto Mohanta
 Partner

Mamta Garai @ Mamta Ghemjya @ Mamta Rani Garai @ Mamta Rani Garai

construct and complete the said proposed building/s with various units / floors/ flats/ spaces/ commercial units/ car parking spaces/ basement over the schedule Property in accordance with the sanctioned building plan.

34. That both the parties of this agreement shall abide by all law, by laws, rules and regulations of the Government, Statutory bodies and / or local bodies as the case may be and shall attend to answer and be responsible for any deviation violation and/ or breach of any of the said laws, by laws, rules and regulations and the West Bengal Building (Regulation of Promotion of Construction and Transfer by Promoter) and/ or the West Bengal Housing Industry Regulation Act, 2017.
35. That the Land owner and Promoter/ Developer or their nominees or co-owner of the proposed multi-storied building shall form an association for maintenance and management of the proposed building/s.
36. That all appendices mentioned in this agreement are integral part of this agreement.
37. That all the amendment and or addition to this agreement are valid only if made in writing and signed by both parties.
38. That both the parties hereto shall be considered to be liable for any obligation hereunder to the extent that performances of the relative obligations' preventive by the existence of the "Force Majeure" (Like Flood, Earth quake, riot, war, storm, tempest, civil commotion beyond the control of the parties) and shall be suspended from the obligation during the duration of the "Force Majeure".
39. Both are Promoter/ Developer and Land owner herein shall enjoy their respective allocations / portions in the said multistoried building/s forever with absolute right of alienation, transfer, gift etc. and such rights of the parties no way could be taken off or infringed by either of the party under any circumstances.

Drafted by:


NILESH DAS, Advocate
Enrollment No- F/740/2012
District Judges' Court
Jhargram

KRITTI CONSTRUCTION

Goudeep Sahoo
Partner

KRITTI CONSTRUCTION

Seemanta Mahata
Partner

Maantra Construction Co. Maantra Land Services Co. Maantra Bhumiya Co. Maantra Construction Co. Maantra Land Services Co. Maantra Bhumiya Co. Maantra Construction Co. Maantra Land Services Co. Maantra Bhumiya Co.

40. No party shall use or permit to the respective allocation/s in the proposed building or any portion thereof for carrying on any obnoxious illegal an immoral trade or activity not use thereof for any purpose which may cause any nuisance or hazard to the other occupier/s of the proposed building.
41. No party shall demolish or permit demolition of any will or other structure in his / her their respective allocation/s or any portion thereof or make any structural alteration therein without the previous consent of the other in this behalf.
42. No goods or other items shall be kept by the either party for display or otherwise in the corridors or other places of the use in the building and no hindrance shall be caused in any manner in the free movement of the users in the corridors and other places of common use in the building.
43. No party shall throw or accumulate any dirt, rubbish, waster or refuse or permit the same to the thrown or accumulated in or about the building or in the compounds, corridors or any other portion or partitions of the building.
44. As soon as the building is completed, Promoter/ Developer shall give written notice to the Owner / Land owner, requiring the owner to take possession of the Owner's Allocations in the proposed building/s. Then after 30 (Thirty) days from the date of service of such notice and at all times there after the Owner will be exclusively responsible for payment of all municipal and property taxes, rates, duties and other public outgoings, electric bill and impositions whatsoever (hereinafter for the sake of brevity referred to as "the said rates" payable in respect of the owner's allocations, the said rates to be applied pro - rata with reference to the salable space in the building/s if any one levied on the building as a whole).
45. All costs, charges and expenses including architect's fess shall be discharged and paid by the developer and owner will have no responsibility in this context to the Architect but in case of extra work then the Land owner has to pay the extra cost for extra work which is/ will be beyond schedule work.

Drafted by:

Nilesh
NILESH DAS, Advocate
 Enrolment No- F/740/2012
 District Judges' Court
 Jharam

KRITTI CONSTRUCTION

Soudeep Sahoo
 Partner

KRITTI CONSTRUCTION

Seemanta Mohanta
 Partner

Mamta Gaurai @ Mamta Kanti Gaurai

THE SCHEDULE - B
(Work Schedule/Specification)

Sl. No.	Particulars		Specification
1	Main Structure	Foundation Structure &	RCC Framed Structure , Cement of reputed Company
		Walls	Red Brick/ Masonry as per design of Architect Outer Wall - 10" Inner Wall - 5"
2	Living Room/Dining Room/Bedrooms/Balcony	Flooring	Rectified Ceramic tiles mat finished 24"X24" of Reputed Standard Make
		Wall/Ceiling Finish	Putty over plaster and cement primer over it with colours.
3	Kitchen	Flooring	Rectified Ceramic tiles mat finished 24"X24" of Reputed Standard Make
		Wall/ Ceiling Finish	Putty over Plaster and Cement Primer over it with colours.
		Counter	Green Marble/ Any other suitable marble
		Dado	Ceramic Tiles up to 2 ft 6 inch height above Counter top of Reputed Standard make
		Fitting/fixtures	1 No. Stainless Still Sink and 2 No bib cock of Reputed Standard make
		Water Supply	Provision of Cold water lines
4	Toilets	Flooring	Rectified Ceramic tiles mat finished 12"X12" of Reputed Standard Make
		Wall/ Ceiling Finish	Putty over Plaster and Cement Primer over it. Ceramic Tiles on wall up to 6 ft height
		CP Fitting	CP fittings of Reputed Standard Make
		Sanitary ware	OT Pan White- 1 No. PVC Cistern White- 1 No O/H shower with arm - 1No 3 Nos bib cocks Sanitary ware of Reputed Standard Make. PVC Door- 1 No.
		Water Supply	Provision of cold water lines to all points. Hot Water Line connected to geyser point in one Toilet only
		Attach Toilet	EWC White 1 pc PVC Cistern White- 1 No 2 Nos bib cocks. PVC Door- 1 No.
5	Pipelines	Water Supply	PVC Pipes of Reputed Make
		Rain Water/ Soil Pipe	PVC Pipes of Reputed Make

Drafted by:

Nilesh Das
NILESH DAS, Advocate
Enrolment No- F/740/2012
District Judges' Court
Jhalagram

KRITTI CONSTRUCTION

Gaudeep Shou
Partner

KRITTI CONSTRUCTION

Seemanta Mahata
Partner

Mamta Gaxai @ Mamta Kanti Gaxai @ Mamta Kanti Gaxai

	Doors	Door Frame	Hard wood/ Pressed Steel
		Door Shutter	Flush door of reputed make
		Lock /Hardware	Main Door 1 No 8" Tower bolt from inside 1 No Handle from inside 1 No handle and 1 No L drop from outside Other Rooms 1 No 6" Tower Bolt from inside 1 No handle from inside 1 No hatch bolt from out side 1 No Handle from outside of standard reputed make
		Paint	Synthetic Enamel paint
7	Windows		Aluminum sliding window (2 Track, 3 Track) with 3 MM Glass.
8	Electrical	Bed Rooms	2 light point, 1 fan point, 1 No. 5A switch socket,
		Living /Dining Room	2 light points, 1 Fan point, , 2 Nos. 5A switch socket, 1 calling bell point
		Kitchen	1 light point, 1 No. Exhaust fan point, 1No. 5A switch socket, 1 No 5/15 A Switch socket
		Toilet	1 No. Light point, 1 No. Exhaust fan Point, 1 No. 15A socket for geyser in one toilet only.
		Wiring	Concealed ISI Marked Stranded Copper Wiring in PVC Conduit Pipe
		Electric Meter	Individual Electricity Meter borne by the purchaser for Each Apartment and common Area as per rules
		Electrical Distribution	Main switches /MCBs/DBs of reputed make
		Switches/Sockets	Piano Switches of reputed make
9	Water Source/Supply		Deep tube well with submersible water pump and overhead tank
10	Stair Case	Floor	Kodappa Stones
		Wall/Ceiling Finish	Distemper or snowcem
		Railing	MS Railing Synthetic enamel painted
11	Car parking Area	Flooring	Cement punning over plaster
		Wall Finish	Distemper or snowcem
12	Drive way	Flooring	Cement punning over plaster
13	Terrace	Water proofing	As per norms & Design of Architect
14	External wall finish		Snowcem over plaster
15	Additional work		Any other extra work will be done at extra cost subject to Architects prior approval.

Drafted by:

NILESH DAS, Advocate
Enrolment No- F/740/2012
District Judges' Court
Jhargram

KRITTI CONSTRUCTION
Goudeep Sahoo,
Partner

KRITTI CONSTRUCTION
Seemanta Mahata,
Partner

Mamta Gaurai @ Mamta Khumiyar @ Mamta Khumiyar @ Mamta Khumiyar @ Mamta Khumiyar

as mentioned here in that the photographs and impression of fingers of the Owner, the Developer and Identifier are taken on the last page of this presents, duly certified by the Owner and the Developer.

IN WITNESS WHEREOF both the parties have hereunto set their respective hands hereto being acquainted with the facts & consequences on the day, month, year and place first above written in presence witnesses after properly gone through the above noted contents which has been written as per their direction.

Signature of the Witnesses :

1. Niladhi Das

c/o - Late Jitendra Nath Das
vill - Balahandihi

P.O.P.S + Dist - Jhargam
Pin - 721507, occ - Business

2. Subrata Das.

S/o - Bisoy Kr Das.
vill - Chhatra Bam Das

P.O.P.S + Dist - Jhargam
Pin - 721507

This deed has been completed in 20 pages including one sketch map and there are two witnesses, signed in this

Signature of the Land owner

Mamta Garai @ Mamta Bhumika @
Mamta Kam Garai @ Mamta Kam Garai

Signature of the Developer

KRITI CONSTRUCTION

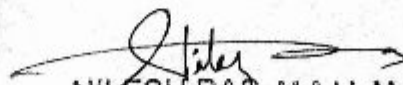
Joudeep Sahoo.
Partner

KRITI CONSTRUCTION

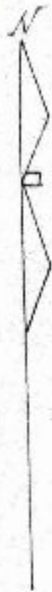
Seemanta Mahata
Partner

Drafted & prepared in my office :

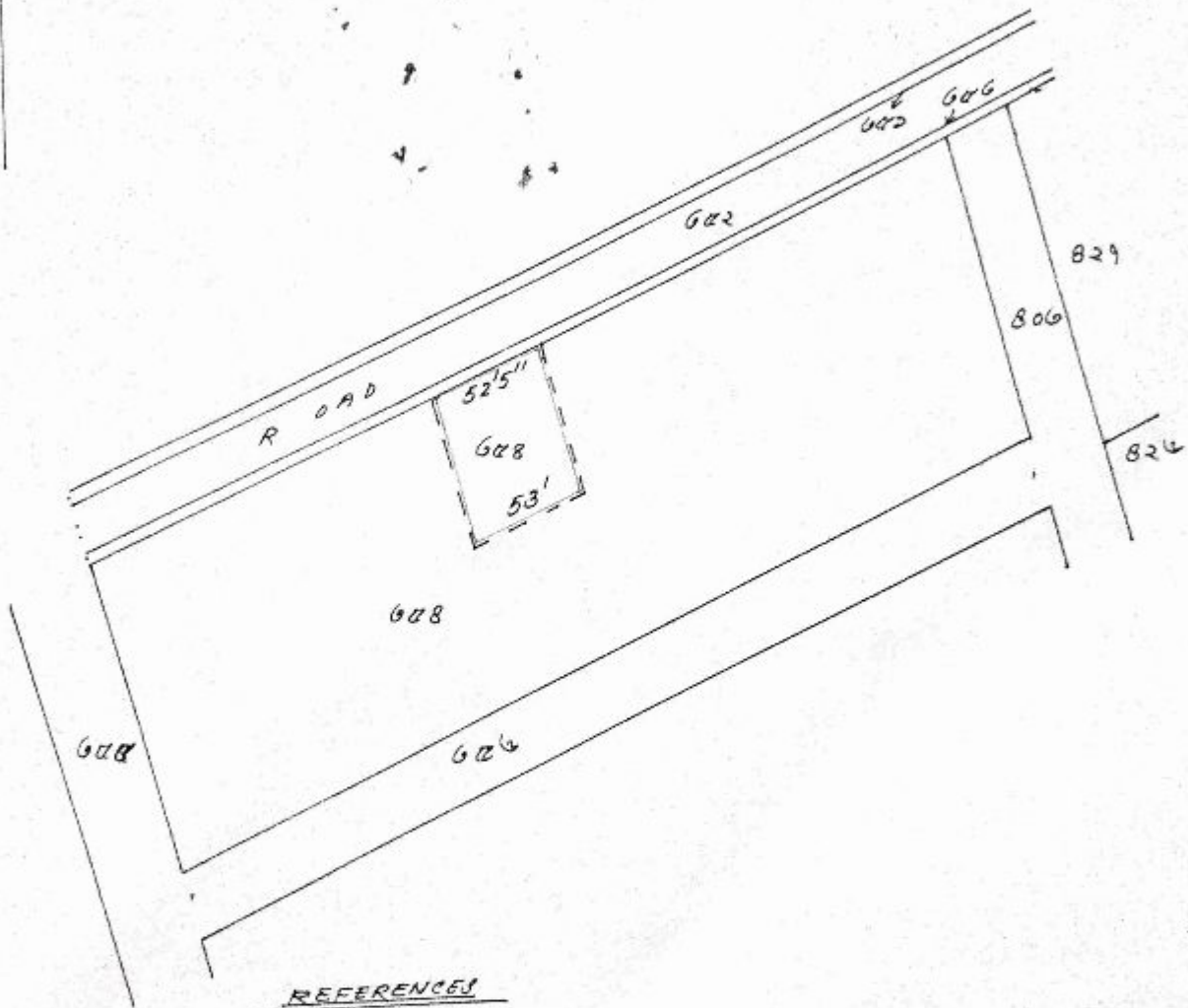
NILESH DAS, Advocate,
Enrollment No. - F/740/2012,
Jhargam Judges' Court.


NILESH DAS, M.A.LLM
Advocate
Enrollment No - F/740/2012
District Judges' Court
Jhargam


Typed by : Ashok Kumar Maity, Jhargam.



MOUZA - JANGALKHAS, T.L. NO. - 395
 THANA - JELA - BHARGRAM
 SCALE - 64" = 1 MILE



REFERENCES

LAND UNDER DEED - 
 R.S. PLOT NO. - 354
 L.R. PLOT NO. - 454
 LAND AREA - 7.90 DEC

DRAWN BY
 Date. 29.01.2023
 PRABIR KR. MAHATO
 AMIN
 BHARGRAM

KRITTI CONSTRUCTION
 Soudeep Sahoo
 Partner

KRITTI CONSTRUCTION
 Seemanta Mahato
 Partner

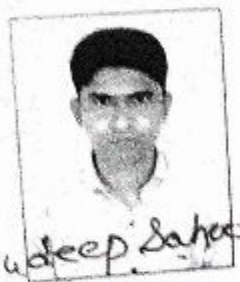
Mamta Barai @ Mamta Bhuniya @ Mamta Rani Barai @ Mamta Rani Barai

PHOTOGRAPHS & FINGER PRINTS OF THE PARTIES



Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb
Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb

Signature Manata Kari Garai @ Manata Kari Garai @ Manata Kari Garai @
Manata Kari Garai @ Manata Kari Garai @



Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb
Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb

Signature ... Soudeep Sahoo



Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb
Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb

Signature ... Seemanta Mahata

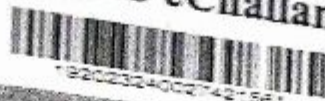
PHOTOGRAPH & FINGER PRINTS OF THE IDENTIFIER



Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb
Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb

Signature *Nilanbi Das*

Govt. of West Bengal
 Directorate of Registration & Stamp
 Revenue
 GRIPS eChallan



192023240027421561

GRN Date: 192023240027421561
 BRN : 25/04/2023 13:02:57
 GRIPS Payment ID: 435773238
 Payment Status: 250420232002742155 Successful
 Payment Mode: Online Payment
 Bank/Gateway: Punjab National Bank
 BRN Date: 25/04/2023 01:04:32
 Payment Init. Date: 25/04/2023 13:02:57
 Payment Ref. No: 2001026533/4/2023
 [Query No*Query Year]

Depositor Details

Depositor's Name: Kriti Construction
 Address: Raghunathpur
 Mobile: 9932661307
 Contact No: 7001700281
 Depositor Status: Buyer/Claimants
 Query No: 2001026533
 Applicant's Name: Mr Nilesh Das
 Identification No: 2001026533/4/2023
 Remarks: Sale, Development Agreement or Construction agreement
 Period From (dd/mm/yyyy): 25/04/2023
 Period To (dd mm yyyy): 25/04/2023

Payment Details

Sl. No	Payment Ref No	Head of A/C Description	Head of A/C	Amount (₹)
1	2001026533/4/2023	Property Registration- Stamp duty	0030-03-103-003-02	35011
1	2001026533/4/2023	Property Registration- Registration Fees	0030-03-104-001-16	10014
			Total	45025

IN WORDS: FORTY FIVE THOUSAND TWENTY FIVE ONLY.

PAID



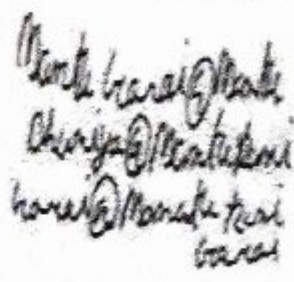
Major Information of the Deed

	1-2205-00717/2023
Date of Registration	2205-2001026533/2023
Office where deed is registered	24/04/2023 3:52:13 PM
A.D.S.R. (Development Officer) Jhargram	
Name, Address	Nilesh Das At - Balaramdih, Thana - Jhargram, District - Jhargram, WEST BENGAL, PIN - 721507 Mobile No. 9635478630, Status Advocate
Transaction	
(110) Sale, Development Agreement or Construction agreement	Additional Transaction 4305; Other than Immovable Property Declaration (No of Declaration: 1) (4511) Other than Immovable Property, Receipt (Rs 10,00,000/-)
Set Forth value	Market Value
Rs. 15,00,000/-	Rs. 1,64,24,100/-
Stamp duty Paid (SD)	Registration Fee Paid
Rs. 40,011/- (Article 48(g))	Rs. 10,014/- (Article E, E, B)
Remarks	Received Rs. 50/- (FIFTY only) from the applicant for issuing the assessment slip (Urban area)

Land Details :

District: Jhargram, P.S:- Jhargram, Municipality: JHARGRAM, Mouza: Janglekhas-(395), Ward No: 12, Holding No 570/393 J No. 395, Pin Code - 721507



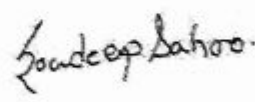
Sch No	Plot Number	Khatian Number	Land Use Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	LR-454 (RS -354)	LR-13680, (RS:-85110)	Commencial	Vastu	7.9 Dec	15,00,000/-	1,64,24,100/-	Width of Approach Road: 30 Ft., Adjacent to Metal Road.
Grand Total :					7.9Dec	15,00,000 /-	164,24,100 /-	



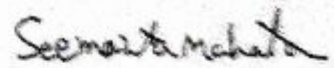
Name	Photo	Finger Print	Signature
Smt Mantu Bhuniya, (Alias: Smt Mantu Rani Alis Mantu Alis Manatu Rani Garai) (Presentant) Wife of Shri Ashi Kumar Garai Executed by: Self, Date of Execution: 25/04/2023 , Admitted by: Self, Date of Admission: 25/04/2023 ,Place : Office	 25/04/2023	 LTI 25/04/2023	 25/04/2023
Village:- Olda, P.O:- Ghaspada, P.S:-BARSOL, District:-Purbi Singhbhum, Jharkhand, India, PIN:- 832101 Sex: Female, By Caste: Hindu, Occupation: House wife, Citizen of: India, PAN No.:: blxxxxx6m,Aadhaar No Not Provided by UIDAI, Status :Individual, Executed by: Self, Date of Execution: 25/04/2023 , Admitted by: Self, Date of Admission: 25/04/2023 ,Place : Office			

Developer Details :

SI No	Name,Address,Photo,Finger print and Signature
1	KRITTI CONSTRUCTION Village:- Raghunathpur, P.O:- Jhargram, P.S:-Jhargram, District:-Jhargram, West Bengal, India, PIN:- 721507, PAN No.:: Axxxxxx1A,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative

Representative Details :

SI No	Name,Address,Photo,Finger print and Signature			
	Name	Photo	Finger Print	Signature
1	Shri Soudeep Sahoo Son of Late Krishnendu Sahoo Date of Execution - 25/04/2023, , Admitted by: Self, Date of Admission: 25/04/2023, Place of Admission of Execution: Office	 Apr 25 2023 2:37PM	 LTI 25/04/2023	 25/04/2023
Village:- Raghunathpur, P.O:- Jhargram, P.S:-Jhargram, District:-Jhargram, West Bengal, India, PIN:- 721507, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: egxxxxx5m,Aadhaar No Not Provided by UIDAI Status : Representative, Representative of : KRITTI CONSTRUCTION				

Name	Photo	Finger Print	Signature
Shri Seemanta Mahata Son of Shri Ajit Mahata Date of Execution - 25/04/2023, Admitted by: Date of Admission: 25/04/2023, Place of Admission of Execution: Office	 Apr 25 2023 2:37PM	 L1 25/04/2023	 25/04/2023
Village:- Tengia, P.O:- Pukuriya, P.S:-Jhargram, District:-Jhargram, West Bengal, India, PIN:- 721507, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:- bxxxxxxx1a, Aadhaar No Not Provided by UIDAI Status : Representative, Representative of : KRITTI CONSTRUCTION			

Identifier Details :

Name	Photo	Finger Print	Signature
Mr Niladri Das Son of Late Jitendra Nath Das At- Balaramdih, City:- , P.O:- Jhargram, P.S:-Jhargram, District:-Jhargram, West Bengal, India, PIN:- 721505	 25/04/2023	 25/04/2023	 25/04/2023
Identifier Of Smt Mantu Bhuniya, Shri Soudeep Sahoo, Shri Seemanta Mahata			

Transfer of property for L1

Sl.No	From	To. with area (Name-Area)
1	Smt Mantu Bhuniya	KRITTI CONSTRUCTION-7.9 Dec

Land Details as per Land Record

District: Jhargram, P.S:- Jhargram, Municipality: JHARGRAM, Mouza: Janglekhas-(395), , Ward No: 12, Holding No:570/393 JI No: 395, Pin Code : 721507

Sch No	Plot & Khatian Number	Details Of Land	Owner name in English as selected by Applicant
L1	LR Plot No:- 454, LR Khatian No:- 13680	Owner:মাও রানী গরায়, Gurdian:আশীষ , Address:নিজ , Classification:বাণ্ড, Area:0.07900000 Acre,	Smt Mantu Bhuniya

Admissibility (Rule 43, W.B. Registration Rules 1962)

Under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48
Stamp Act 1899

Under Section 52 & Rule 22A(3) 46(1) W.B. Registration Rules, 1962)

for registration at 13:44 hrs on 25-04-2023, at the Office of the A.D.S.R. JHARGRAM by Smt Mantu
Alias Smt Mantu Rani Alis Mantu Alis Manatu Rani Garai, Executant

Certificate of Market Value (WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs
54,24,100/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 25/04/2023 by Smt Mantu Bhuniya, Alias Smt Mantu Rani Alis Mantu Alis Manatu Rani Garai,
Wife of Shri Ashi Kumar Garai, P.O: Ghaspada, Thana: BARSOL, Purbi Singhbhum, JHARKHAND, India, PIN -
832101, by caste Hindu, by Profession House wife

Identified by Mr Niladri Das, , Son of Late Jitendra Nath Das, At- Balaramdihi, P.O: Jhargram, Thana: Jhargram, ,
Jhargram, WEST BENGAL, India, PIN - 721505, by caste Hindu, by profession Business

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 25-04-2023 by Shri Soudeep Sahoo,

Identified by Mr Niladri Das, , Son of Late Jitendra Nath Das, At- Balaramdihi, P.O: Jhargram, Thana: Jhargram, ,
Jhargram, WEST BENGAL, India, PIN - 721505, by caste Hindu, by profession Business

Execution is admitted on 25-04-2023 by Shri Seemanta Mahata,

Identified by Mr Niladri Das, , Son of Late Jitendra Nath Das, At- Balaramdihi, P.O: Jhargram, Thana: Jhargram, ,
Jhargram, WEST BENGAL, India, PIN - 721505, by caste Hindu, by profession Business

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 10,014.00/- (B = Rs 10,000.00/- , E = Rs
14.00/-) and Registration Fees paid by Cash Rs 0.00/-, by online = Rs 10,014/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB
Online on 25/04/2023 1:04AM with Govt. Ref. No: 192023240027421561 on 25-04-2023, Amount Rs: 10,014/-, Bank:
Punjab National Bank (PUNB0010000), Ref. No. 435773238 on 25-04-2023, Head of Account 0030-03-104-001-16

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 40,011/- and Stamp Duty paid by Stamp Rs
5,000.00/-, by online = Rs 35,011/-

Description of Stamp

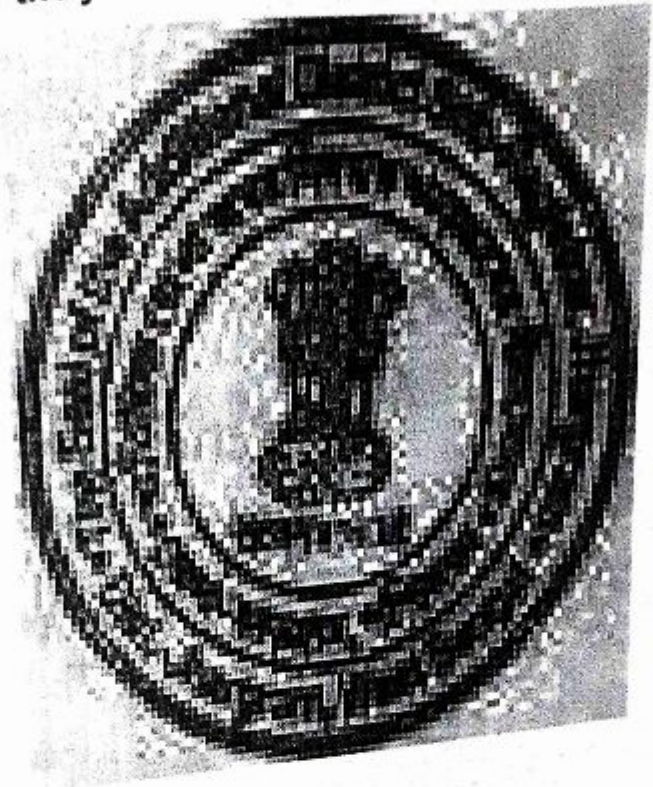
1. Stamp: Type: Impressed, Serial no 1520, Amount: Rs.5,000.00/-, Date of Purchase: 25/04/2023, Vendor name:
Kapati Das

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB
Online on 25/04/2023 1:04AM with Govt. Ref. No: 192023240027421561 on 25-04-2023, Amount Rs: 35,011/-, Bank:
Punjab National Bank (PUNB0010000), Ref. No. 435773238 on 25-04-2023, Head of Account 0030-02-103-003-02

Rabindranath Sau

RABINDRANATH SAU
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. JHARGRAM
Jhargram, West Bengal

Registration under section 60 and Rule 69.
Book - I
2205-2023, Page from 12421 to 12450
220500717 for the year 2023.



Digitally signed by RABINDRANATH SAU
Date: 2023.04.25 16:08:10 +05:30
Reason: Digital Signing of Deed.

Rabindranath Sau

(RABINDRANATH SAU) 2023/04/25 04:08:10 PM
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. JHARGRAM
West Bengal.

(This document is digitally signed.)